

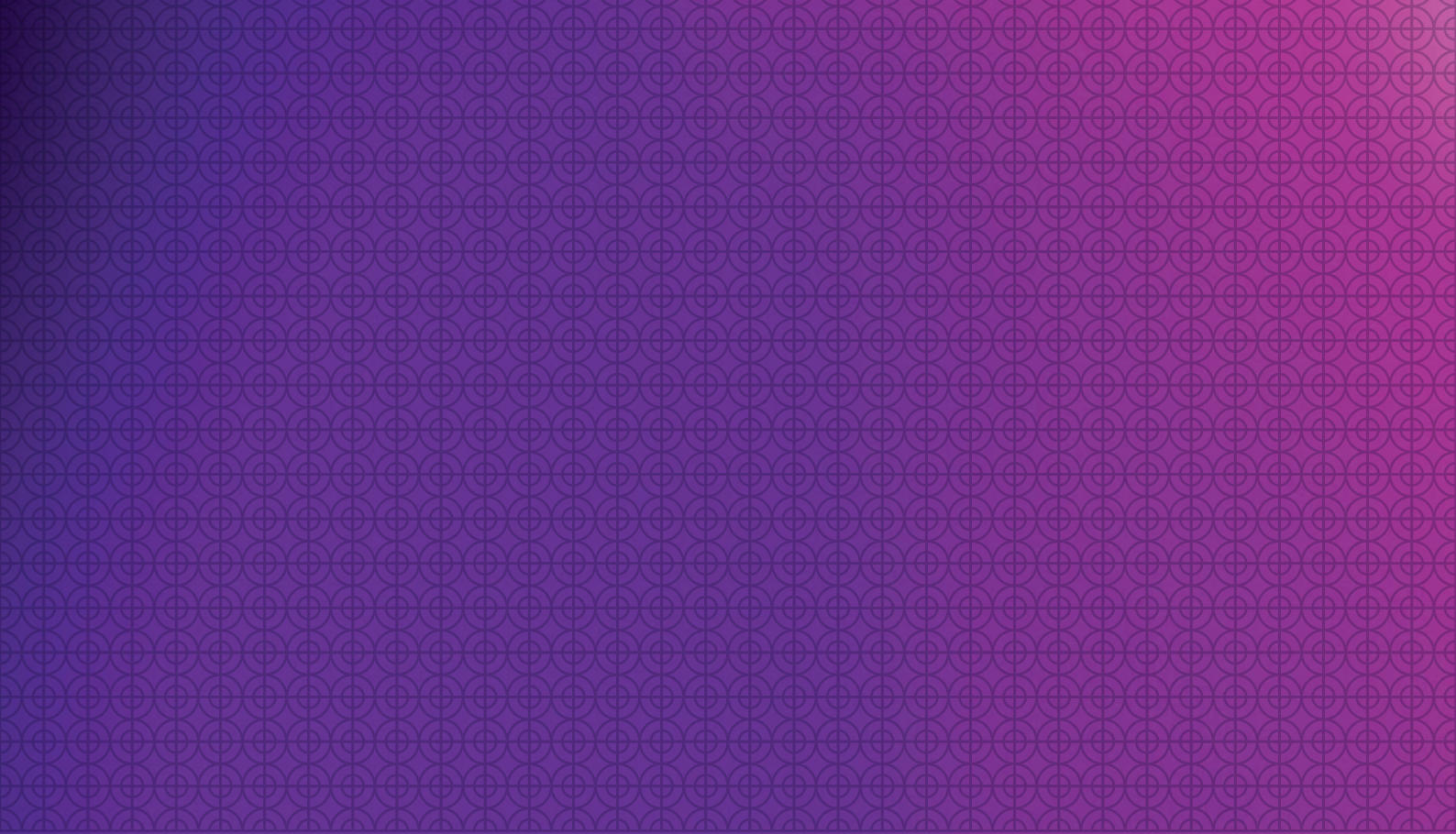
DESIGN GUIDELINES

*Parkside
Release Homesites*

ONP

71

BALDIVIS



THE VISION. **ONE71 BALDIVIS WILL** **BE AN URBAN,** **CONTEMPORARY** **NEIGHBOURHOOD** **INSPIRED BY AN ECLECTIC** **LAYERING OF** **DIFFERENT ERAS** **AND STYLES, FROM** **THE RETRO 60S** **BREEZE BLOCKS TO THE** **CLEAN LINES OF** **CONTEMPORARY DESIGNS.**

These design guidelines will ensure a high quality appearance in built form and streetscape with simple forms, a unified colour palette, and splashes of unexpected materials. One71 will be a place with a unique identity and strong sense of character that the new Baldivian will be proud to call home.

These design guidelines apply to Lots 146 – 157 at One71 Baldivis. The guidelines must be read in conjunction with and comply with the Stage 1 Local Development Plan and all other relevant statutory planning and building construction documents.

Mirvac may consider an application that varies from the specific requirements of the Design Guidelines if, in its opinion, the design supports the objectives for development and a justification is provided. Approval of a variation does not, however, set precedence.

CHECKLIST

This document is to be printed and completed by inserting a Tick ☒ next to each requirement before the document and house plans are submitted to:
designapprovals.wa@mirvac.com



ORIENTATION

- ☐ Homes on Lots 146-157 must have their primary frontage facing the Park.

PARK FRONTAGE

- ☐ Homes shall incorporate at least one habitable room with a major opening overlooking the Park.
- ☐ Where a two storey dwelling is proposed, a major opening on the upper floor shall directly face the Park, in addition to the ground floor.
- ☐ A minimum of 50% of the Parkfront elevation is to have an external height of 31c.
- ☐ The primary Parkfront elevation facing the Park must be articulated through the inclusion of a minimum of one integrated feature element. Acceptable feature elements include:
 - verandah, or
 - entry feature such as a portico or entry pergola, or
 - balcony.
- ☐ The main entry door must be clearly visible from the Park.

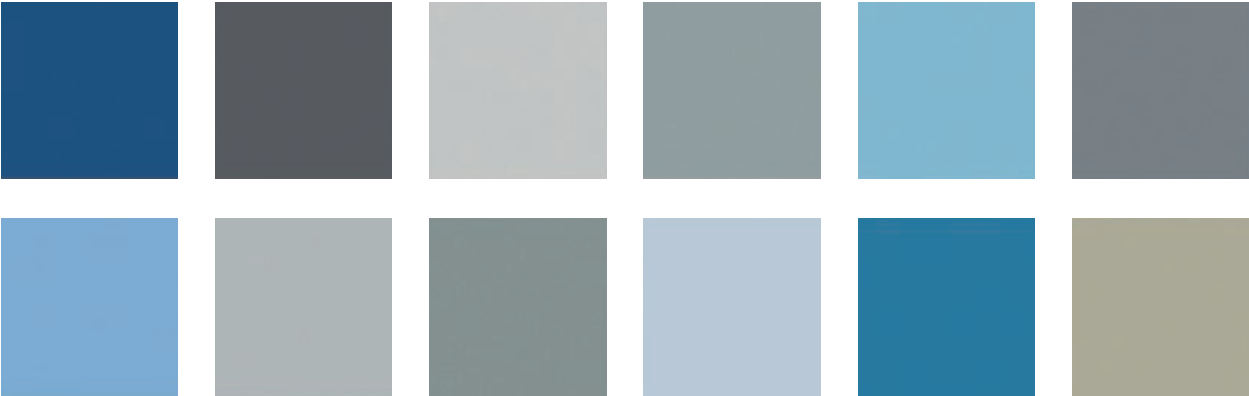
ELEVATIONS

- ☐ 350mm overhanging eaves must be provided to all elevations (garages are exempt). Exclusions are permitted for zero lot walls only.
- ☐ Openings and glazing generally must be of a vertical proportion and consistent in shape and style. Horizontal and square windows may be acceptable if integral to the overall design.
- ☐ Any visible parapet wall on the neighbour's side must be finished to match the quality of the main elevation.

COLOURS & MATERIALS

- ☐ Two colours and materials must be used in the primary Parkfront elevation (excludes windows and doors).
- ☐ One colour must be selected from the One71 Baldivis Colour Palette. The second colour can be of the purchaser's choice and must complement the feature colour. Light/neutral base colours are encouraged.
- ☐ Roof colours must be selected from one of the 4 approved colours from the One71 Baldivis Roof Colour Palette.
- ☐ Main wall material (publicly visible areas) must be masonry with painted render. Visible face brickwork is not permitted other than as a feature.
- ☐ Secondary feature materials are encouraged and may include:
 - Besser Block Screen Wall in Starlight pattern
 - Brick (red or terracotta bricks not permitted)
 - Weathered timber
 - Stone
 - Treated metal with a rust-like appearance
 - Any other cladding approved by Mirvac

WALL ACCENT COLOUR PALETTE



ROOF COLOUR PALETTE



MATERIAL PALETTE



GARAGES

- ☐ Two side-by-side enclosed car spaces must be provided and accessed from the rear laneway.
- ☐ Carports may be permitted however shall be fitted with a remote controlled sectional door.
- ☐ The roof and design features of garages and carports must be consistent with the main dwelling.

ROOFS

- ☐ 24.5 degree minimum roof pitch (minor integrated roofs such as for verandahs may be lower).
- ☐ Skillion roofs are permitted but with a 5 degree minimum roof pitch.
- ☐ Sections of flat roofs are permitted provided that the roof and gutter are concealed behind the parapet walls.

FENCING

- ☐ Front fencing as viewed from the Park must not be higher than 1.0m and must be at least 50% visually permeable above 300mm high. Materials and colours must be consistent or complementary to the primary street elevation's finishes.
- ☐ Side fencing forward of the building line is only permitted if accompanied by front fencing and must be no higher than 1.0m and must be at least 50% visually permeable above 300mm high. Materials and colours must be consistent or complementary to the primary street elevation's finishes.
- ☐ Return and dividing fences (side and rear) must commence 0.5m minimum behind the building line and must be Colourbond colour Basalt.
- ☐ Fences on the secondary street boundary of a corner lot must be set back at least 4.0m from the corner truncation, constructed of Colourbond colour Basalt (unless otherwise approved by Mirvac) and be a maximum of 1.8m high. Certain corner lots will have a feature estate fence installed by Mirvac. This cannot be altered without Mirvac's prior permission.

DRIVEWAYS

- ☐ Driveways and crossovers may not be constructed of gravel, asphalt or grey concrete.
- ☐ Driveways and footpath crossovers shall be constructed prior to occupancy and shall be coloured to complement the dwelling.
- ☐ A 90mm diameter stormwater pipe must be provided under the driveway to allow for future irrigation by Mirvac.

LETTERBOXES

- ☐ For any lot that has the benefit of a letterbox installed by Mirvac, these must not be removed or altered in any way.

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